

WEST CHESTER II WAREHOUSE

101,600 SF



VALUE-ADDED WAREHOUSING. CONTRACT DEDICATED SERVICES. ALL UNDER ONE ROOF.

Experience the exceptional advantages afforded by the unique blend of quality services offered at Pyle Integrated Locations.

- Increased Shipping Velocity with Expedited Same Day & Next Day Delivery Options
- Secure Transportation Capacity
 - Dedicated Fleet Assets Domiciled at Single Location
 - Eliminate Potential Service Disruptions from Driver Constraints
 - Flexible Staffing Capability to Meet Business Surge Demand
- Improved Shipment Integrity with Less Handling
- Enhanced Flexibility Including Extended Cut Times
- Direct Next-Day Shipping Lanes via Pyle's LTL Linehaul Network
- Dedicated Customer Service Resources Providing Total Supply Chain Coordination and Communication

WAREHOUSE SERVICES

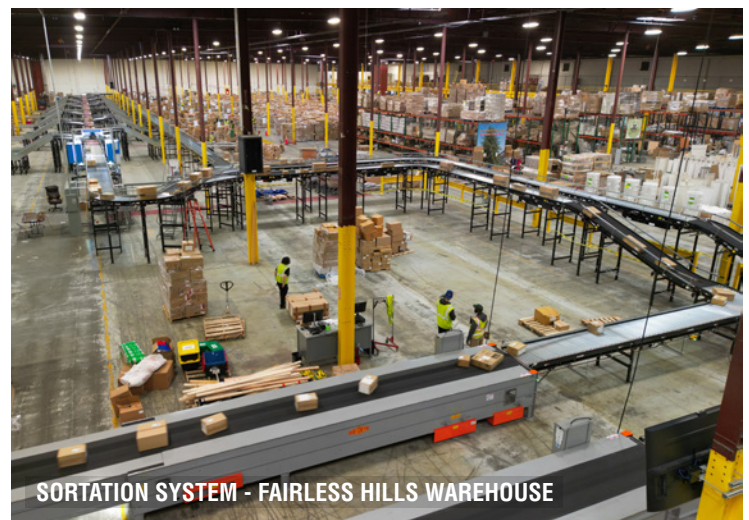
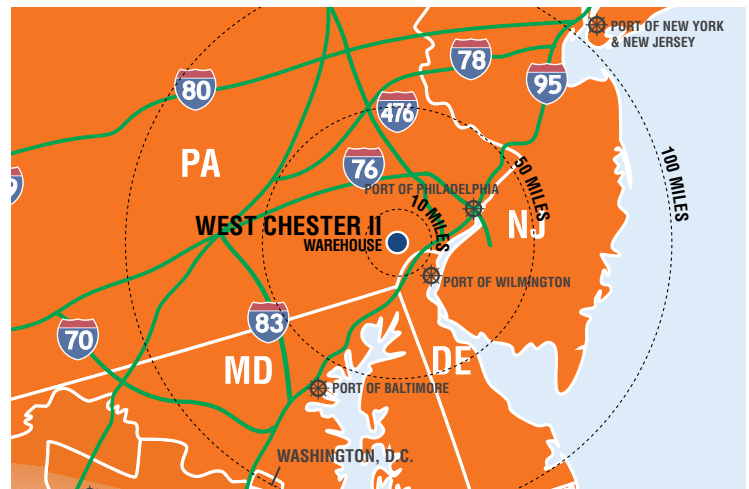
- HazMat Storage
- WMS Technology
- Pick and Pack
- Racked Storage
- Bulk Storage
- Transload
- Pool Distribution
- Consolidation
- Deconsolidation

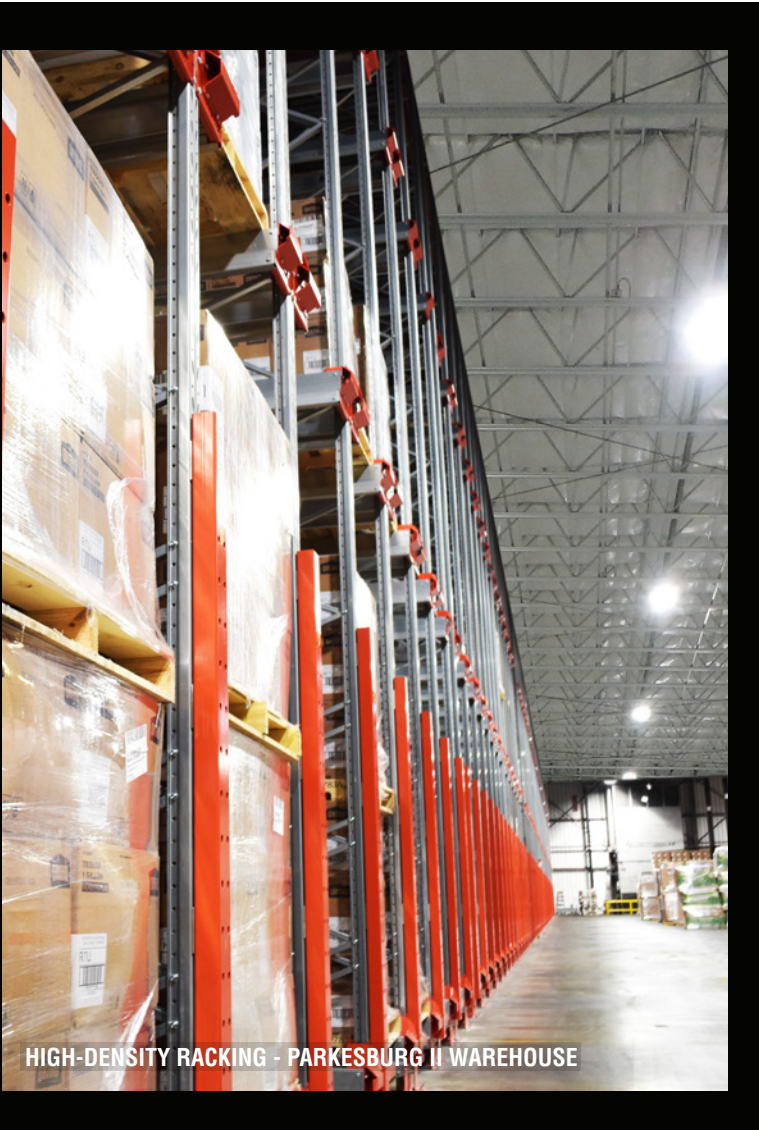
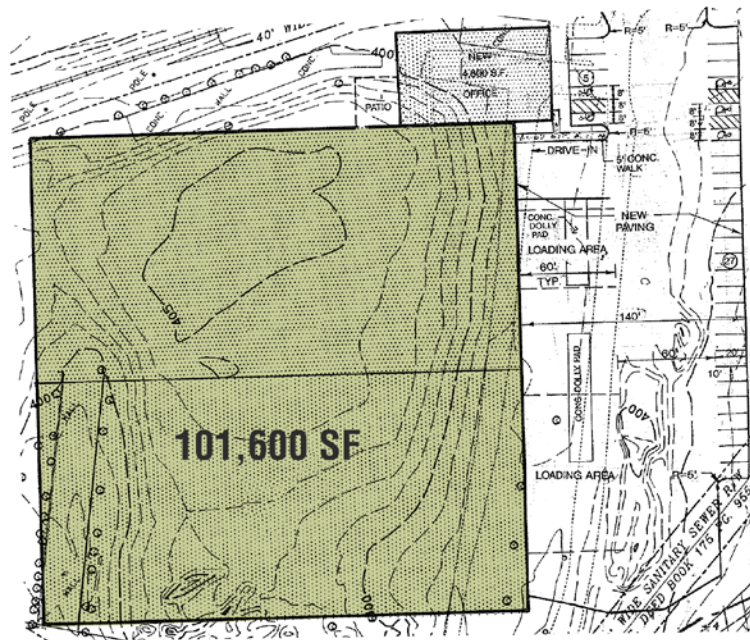


📍 830 S. Bolmar Street
West Chester, PA 19380

✉ WarehousingSales@aduiepile.com

🌐 aduiepile.com/warehousing





HIGH-DENSITY RACKING - PARKESBURG II WAREHOUSE

SIZE

- Available Space: 101,600 SF
- Property Acreage: 9.75 Acres
- Dock Doors: 5

CONSTRUCTION

- Floor: 6" Concrete
- Roof: Mechanically Attached EPDM, 3" ISO, Steel Decking
- Walls: Concrete Tilt-Up
- Ceiling Height: 25'

PARKING

- 3 Trailer Parking Spaces
- 5 Tractor Parking Spaces
- 8 Car Parking Spaces

UTILITIES

- Utilities: Municipal Water, Sewer
- Electric: PECO
- Heat: Natural Gas
- Lighting: LED Lighting Systems
- Sprinkler: 0.5 GPM - High Density
- Security: Monitored Sprinkler and Entry Alarm Systems

SITE

- Close Proximity to U.S. Route 202
- Access to Interstate 95 and U.S. Route 1
- Fully Fenced and Gated
- On-Site Trailer Roof Snow Scraper